



ARCHITECTURAL
GUIDELINES



LOOKING GLASS

PARKER · CO

A brown leather book cover with a dried grass stem on the right side. The cover has a textured, slightly worn appearance with visible stitching along the edges. The text is centered horizontally across the middle of the cover.

A FORWARD-LOOKING COLORADO RANCH COMMUNITY



The short grass prairies of Looking Glass were once home to herds of free-ranging bison and pronghorn; wildlife that is iconic of Colorado's western heritage. The people who called this area home shared an indelible relationship with the land, and continued to define the area's pioneering spirit through generations.



That authentic, western spirit now continues through thoughtful planning and design with a focus on the sustainability of the iconic landscape features of the land. Connecting the rich legacy of the land with modern, high-quality residences, neighborhoods, trails, parks, and community gathering areas that will reflect the future generations that call Looking Glass home.



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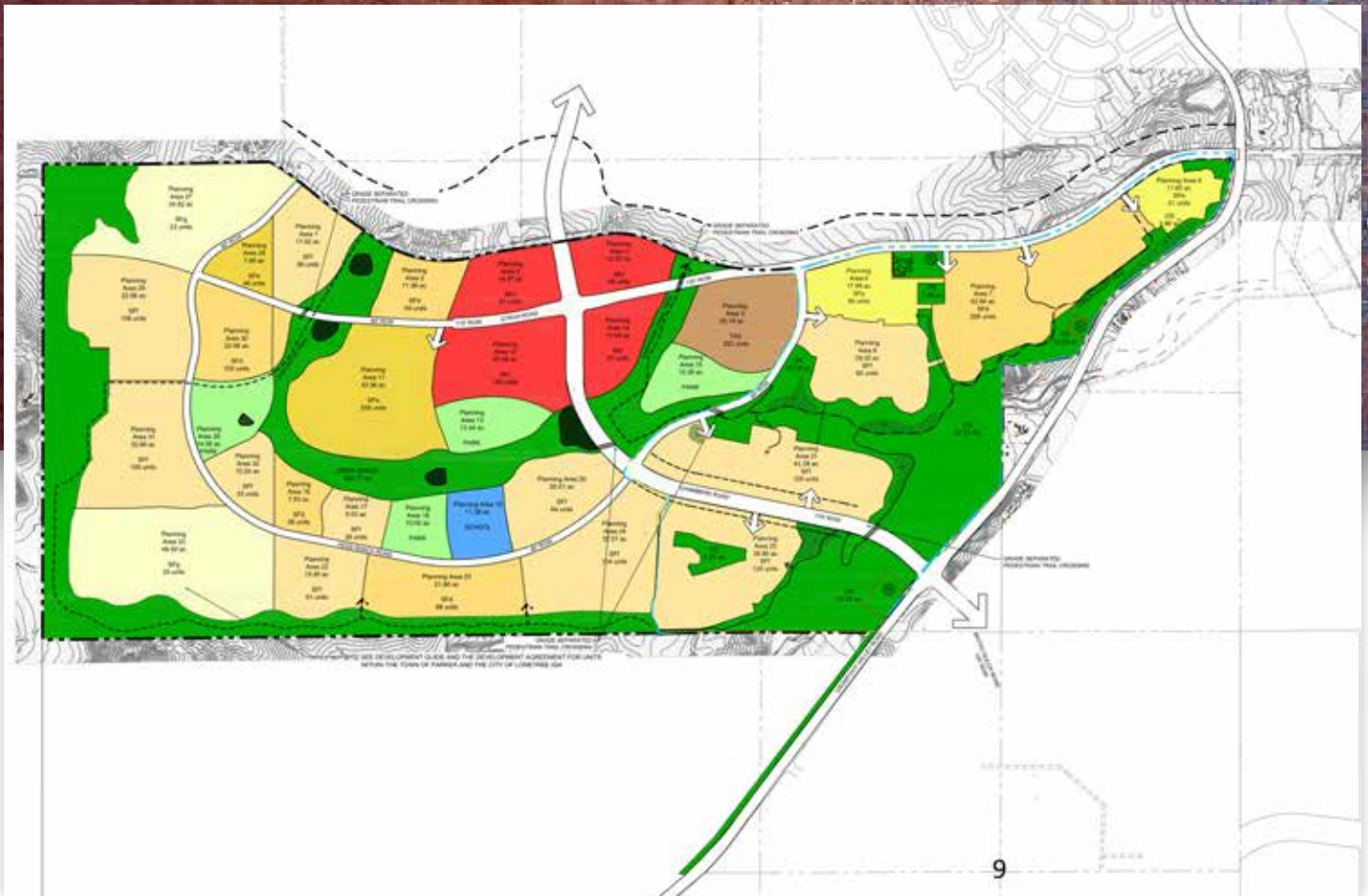




LOOKING GLASS

PARKER • CO

OVERALL COMMUNITY PLAN



ENTITLEMENTS

- Annexed and Zoned in the Town of Parker, Colorado for a total of 2,489 units on over 1,100 acres.
- Anticipate Final Plat for 1st Phase in Q4 2019

INFRASTRUCTURE

Chambers Road (Future six-lane arterial)

- Phase 1 – Extension from Crowfoot Valley Road to Spirit Trail Boulevard
- Phase 2 – Extension from Spirit Trail Boulevard north of Stroh Road to property boundary (with future extension to Hess Road)

Stroh Road (future four-lane arterial)

- Phase 1 – Extension from Crowfoot Valley Road/ Mosenbocker Road to Spirit Trail Boulevard
- Phase 2 – Extension west of Chambers Road to provide access to western neighborhoods of Looking Glass

Connectivity to Parker Road (Colorado State Highway 83) and Interstate 25



LOOKING GLASS

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PHASE 1 SITE PLAN



AMENITIES

Open Space

- Over 280 acres of dedicated open space in Looking Glass
- Over 130 acres of dedicated open space in Phase 1 of Looking Glass

Developed Parks

- Over 60 acres of developed parks in Looking Glass
- Over 17 acres of developed parks in Phase 1 of Looking Glass

Trails

- Extensive hierarchy of trails
- Interconnectivity through all Looking Glass neighborhoods and open space areas
- Regional connections to Cherry Creek Trail and future Reuter-Hess Reservoir





GENERAL DESIGN PRINCIPLES

THE ASPIRATIONS OF THE 21ST CENTURY seem to lie in the heart of what was early Colorado. A desire to explore what is new, with no fear, and a hope to call this place home. That should be the landscape and architecture of Looking Glass.

Authenticity, hard work, and commitment is what Looking Glass is. The respect for transition from old to new is what makes it different.

Our goal is to give provide each Builder Partner the opportunity to capture the early Colorado spirit in the Looking Glass community.

These guidelines do not supersede the Town of Parker's architectural design requirements. All conditions and requirements for the Town of Parker must be met. Enhanced Elevations at specific lot conditions will be required and identified by the Design Review Board at the time of initial submittal.



GENERAL DESIGN PRINCIPLES: ELEMENTS



MASSING

- The building massing shall reflect the architectural style chosen.
- Flat facades, long roof ridge lines, and protruding masses are discouraged.
- Soften rear elevation walk-out homes through the use of projections, recesses, and off-sets. This can be done with covered decks, or plan configuration.



SCALE

- The home should be composed of complimentary forms.
- Create human scaled entries, and porches that welcome visitors.
- Homes should appear “anchored” to the ground on the main level, with upper levels smaller and resting on the main level.
- Avoid long blank expanses of walls.

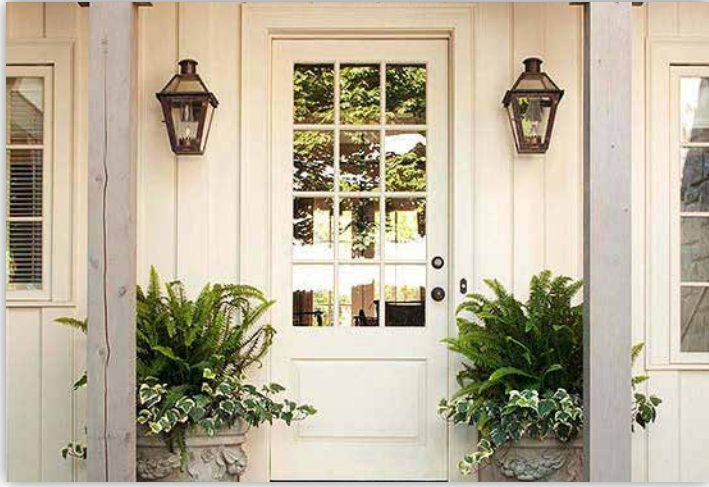


ROOF FORMS

- Provide roof forms that are authentic to the architectural style chosen.
- Create roof pitches and overhangs that complement the architectural style of the home.
- Large covered porches are encouraged to promote outdoor living.
- Use varying roof heights to add visual interest.
- Large roofs with a single ridge are discouraged.
- Pitched roofs shall be the dominate roof profile, however flat accent roofs are allowed.



GENERAL DESIGN PRINCIPLES: ELEMENTS



DOORS

- Entry doors & Garage doors should be decorative and style specific.
- Door trim should be reflective of the architectural styling of the home.
- Garage door plate height shall not be more than 30” above the garage door head.



WINDOWS

- Windows should be placed to create proportionate and balanced window composition.
- Windows, and window trim should be reflective of the architectural styling of the home
- Shutters should be authentic, and sized appropriately.



MATERIALS

- Masonry shall have a realistic look, and include stone, brick, stucco, and concrete wood veneers. It shall always wrap the corner of a wall and preferably terminate at an inside corner.
- Siding smooth or textured siding is permitted, lap, shake, vertical, board and batten or panels are acceptable.
- Architectural grade dimensional shingles, metal and concrete roof tile are permitted.

GENERAL DESIGN PRINCIPLES: ELEMENTS



DECKS & PORCHES

- Human-scaled entry porches should provide a sense of entry.
- Encourage wrap-around porches at corner lots.
- Integrate rear decks into the mass of the home, they should not appear tacked on.



COLUMNS

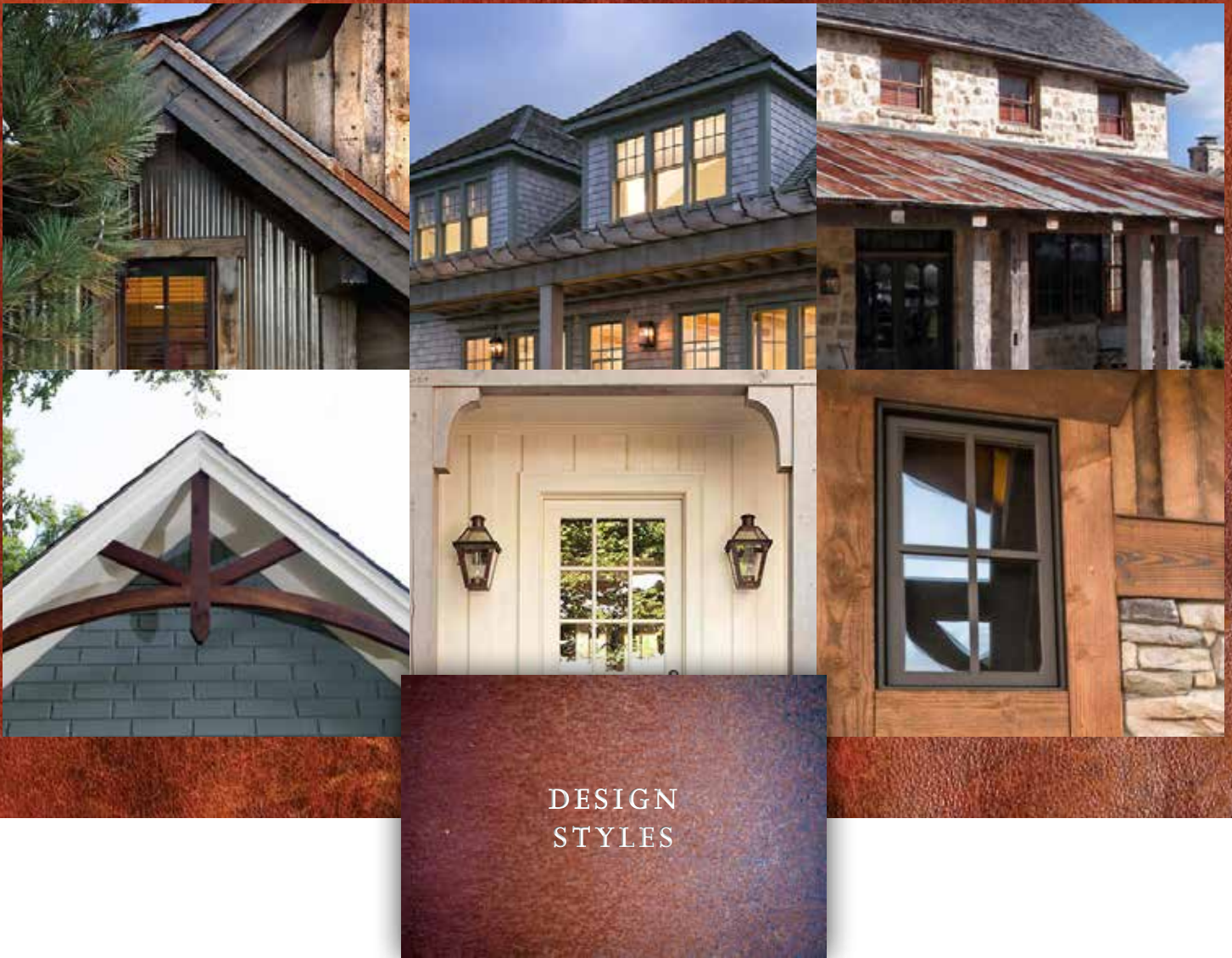
- Columns should reflect the architectural style of the home
- Columns should be proportionately spaced
- Engaged columns at wall intersections is encouraged
- Deck post should be substantial and anchored to the ground with a masonry base.



ARCHITECTURAL ELEMENTS

- Brackets, Corbels and beams should be substantial.
- Railings should be integral to the style of the home.
- Light fixtures should be appropriate to the architectural style.
- Material transitions should include banding that delineates a clear transition, both vertical & horizontal.
- Architectural elements should be scaled appropriately, possess visual integrity, and add function.





DESIGN
STYLES

LOOKING GLASS WANTS TO BRING A FRESH approach to the architectural styling of the community. Simple, organic, and familiar are the underlying themes of the Architectural styles. The Farmhouse, Hill Country, and Cottage styles are rooted in Colorado’s agrarian history. The rugged rustic nature of living in the mountains is expressed in the Old Mill and Sierra Pacific styles.

Quality Architectural design will enliven the street scene and enhance the sense of quality in each neighborhood. The following guidelines are meant to lead each designer towards a pleasing and compatible aesthetic that will express Colorado’s rich architectural traditions, and elevate the residents’ experience as they pass through Looking Glass. Thoughtful distribution of the architectural styles will be needed to achieve this. Consideration for enhanced features at corner lots, and those lots that are exposed to open space will be required.



DESIGN STYLES



FARMHOUSE

- A simple form with high pitched roofs and clean lines define this style. Modest detailing of architectural elements should be considered.



HILL COUNTRY

- This style should take on an additive form, as if it has been built up over several years. Rustic but clean materials, and details will give this style a rich homestead feel.



OLD MILL

- Rugged and eclectic characteristics define this style. Shelter built out of necessity, but with enduring, purposeful intent will give this style a unique flavor.



SIERRA PACIFIC

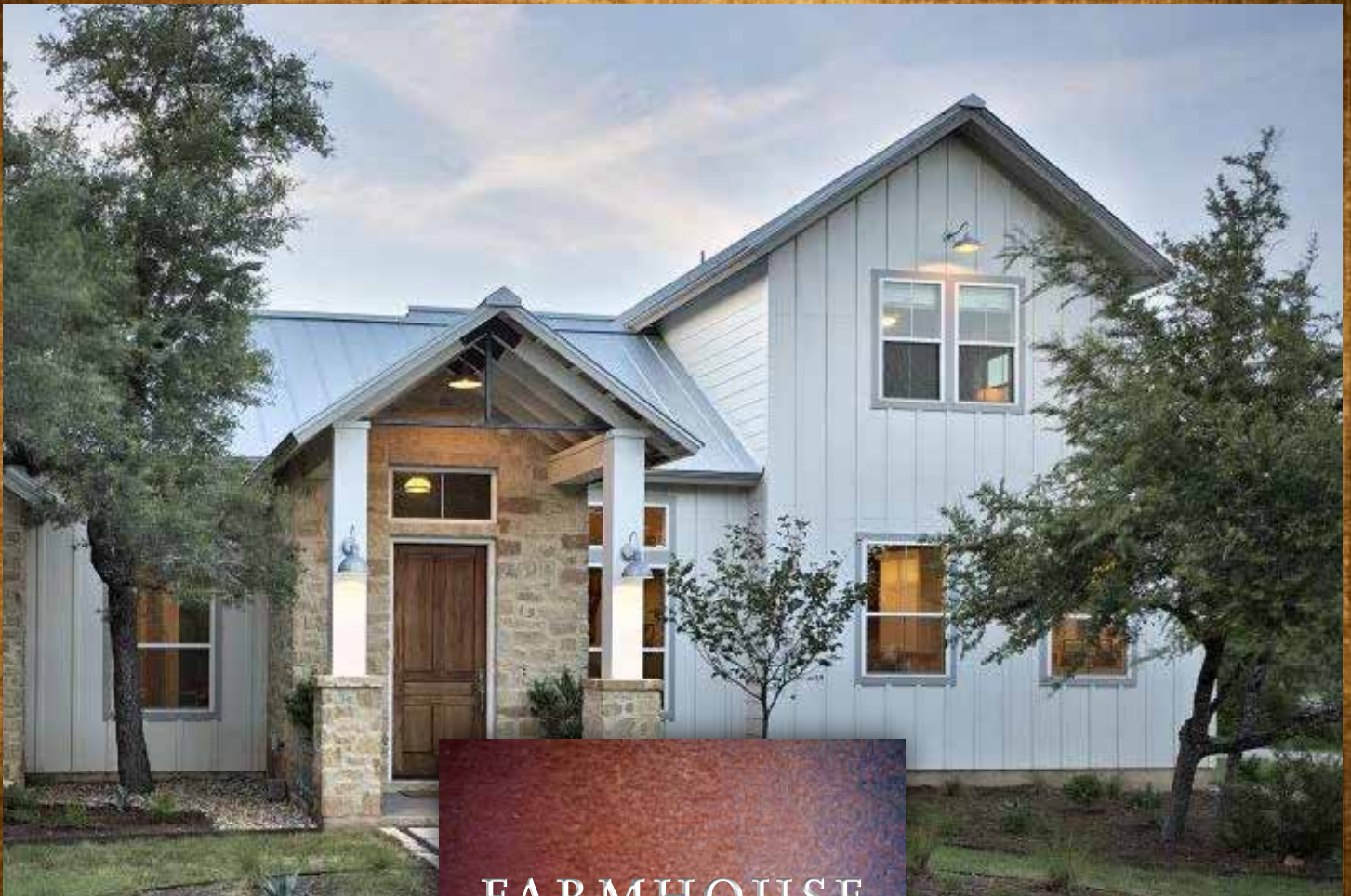
- This style should evoke a flavor of the Arts & Crafts movement with a pallet familiar with coastal architecture.



COTTAGE

- A close cousin to the Farmhouse style, the Cottage style should incorporate a slightly more detailed pallet, displaying a higher level of craftsmanship, and richer pallet of materials.





FARMHOUSE

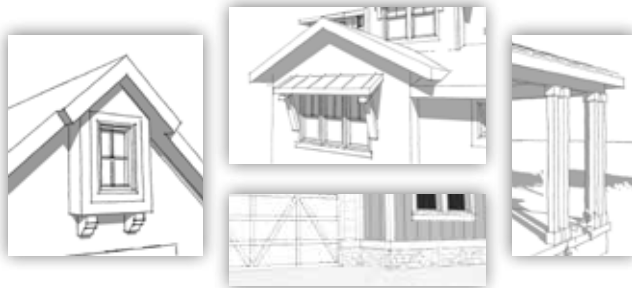
THE FARMHOUSE ELEVATION STYLE is rooted deeply in the Eastern plains of Colorado; the simple detailing and clean lines evoke a sense of familiarity and comfort.





A. MATERIALS

- Narrow lap siding (4" Exposure)
- Vertical Board & Batten Siding, (16" spacing max.)
- Rustic irregular stone



B. DETAILS

- Gable End Details
- Metal Awnings
- Stone Foundations
- Simple Columns



C. WINDOWS & DOORS

- Narrow tall windows with simple grids, if shutters are used they must be sized appropriately.
- Classic raised panel entry doors with windows.
- Garage doors that mimic barn doors.





HILL
COUNTRY

THE INFINITE OPPORTUNITIES of the west drew prospectors, artisans, and entrepreneurs to the region which influenced this rich aesthetic style.





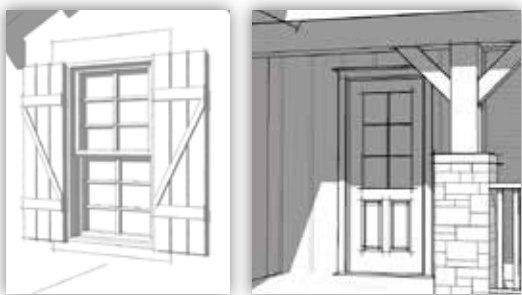
A. MATERIALS

- Narrow lap siding (4" Exposure)
- Vertical Board & Batten Siding, (16" spacing max.)
- Coarsed Stone in an Ashlar pattern



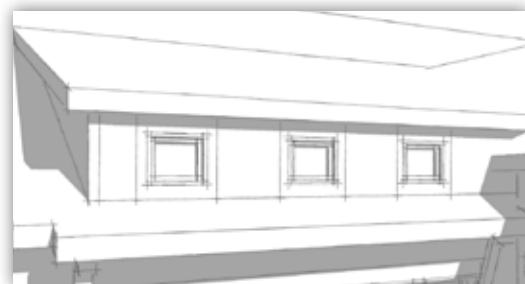
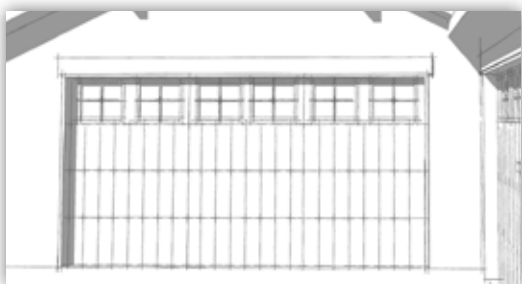
B. DETAILS

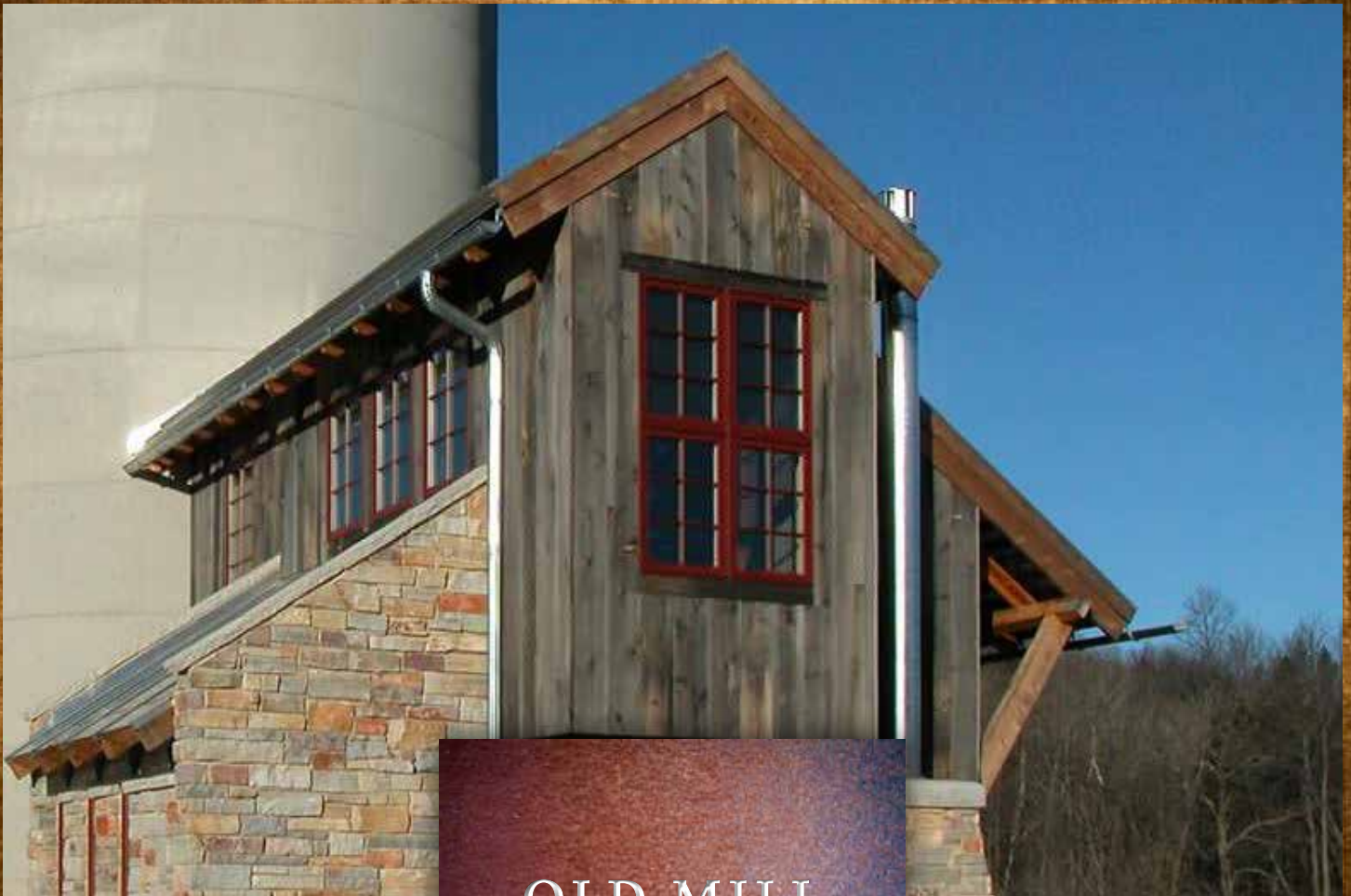
- Gable End Details
- Metal Awnings
- Full Height Stone and Stone Wainscots
- Stone Base Columns



C. WINDOWS & DOORS

- Narrow tall windows with simple grids, if shutters are used they must be sized appropriately.
- Clerestory windows
- Classic raised panel entry doors with windows.
- Garage doors with clerestory windows





OLD MILL

DRAWING FROM COLORADO'S rich mining culture, the Old Mill style hints at the early industrial age with a nod to the early settlers and their ingenuity to use what the land offered them.



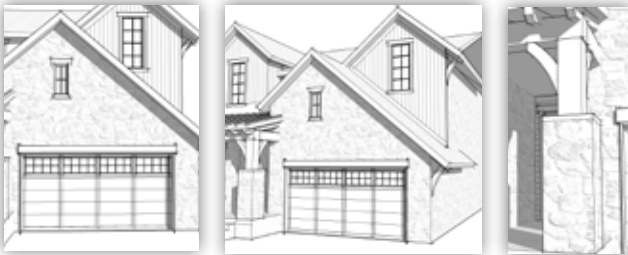


A. MATERIALS



- Horizontal lap siding (7" Exposure)
- Vertical lap siding (7" Exposure)
- Rustic irregular stone

B. DETAILS



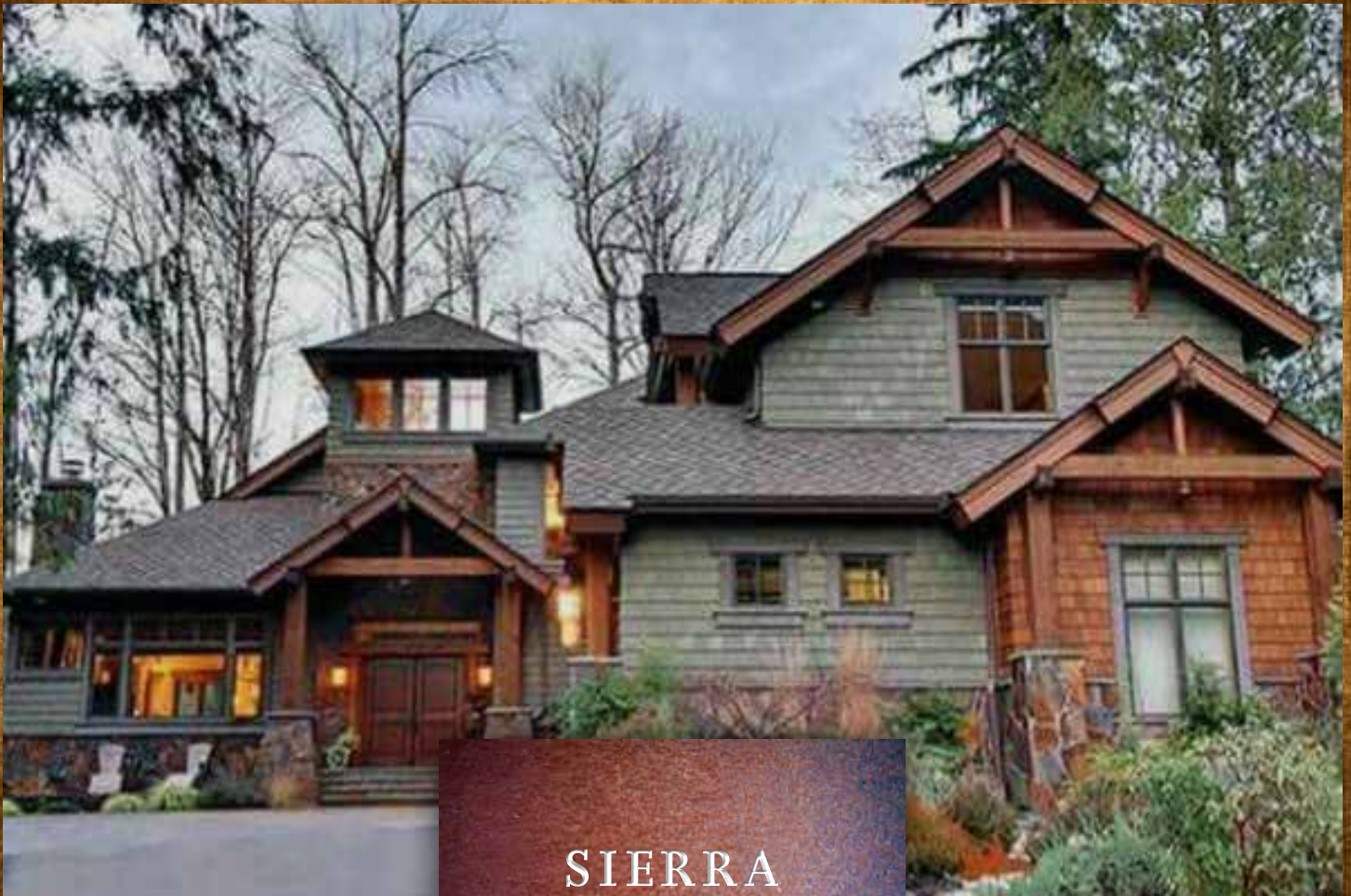
- Steep Pitches
- Brackets
- Full Height Stone
- Stone Columns

C. WINDOWS & DOORS



- Narrow tall windows with simple grids
- Classic raised panel entry doors
- Garage doors with clerestory windows





SIERRA
PACIFIC

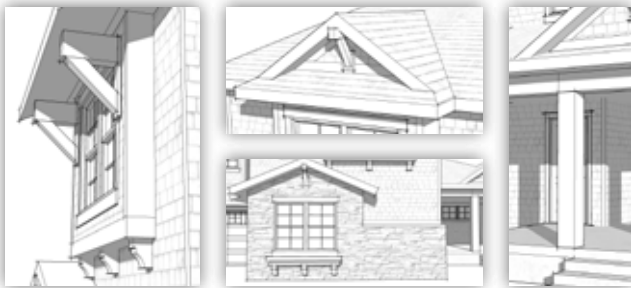
THE EAST COAST STYLING and rustic flair give the Sierra Pacific Elevation a refined look with a feel that blends into the Colorado landscape.





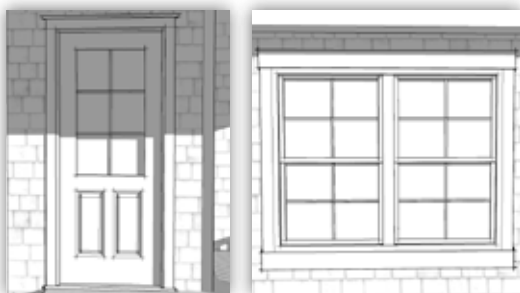
A. MATERIALS

- Shake (12" Exposure)
- Horizontal Lap Siding (7" Exposure)
- Coarsed Stone in an Ashlar pattern



B. DETAILS

- Gable End Details
- Gables and corbels
- Full Height Stone and Stone Wainscot
- Simple Columns



C. WINDOWS & DOORS

- Traditional sized windows with simple grids.
- Classic raised panel entry doors with windows.
- Garage doors with clerestory windows.





COTTAGE

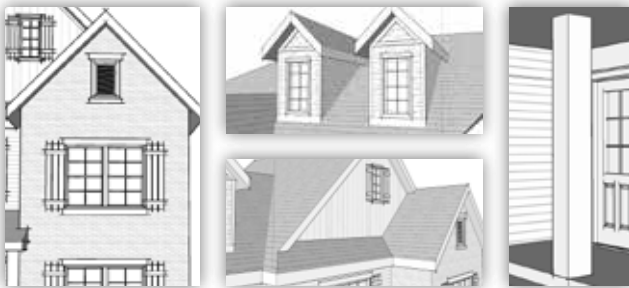
THE EUROPEAN STYLING and countryside feeling gives the Cottage Elevation a pastoral look and feel that settles into the Colorado atmosphere.





A. MATERIALS

- Horizontal Lap Siding (7" Exposure)
- Shake (12" exposure) or Board and Batten
- Rustic irregular stone
- Weathered brick



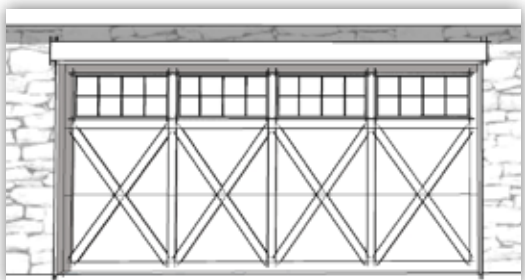
B. DETAILS

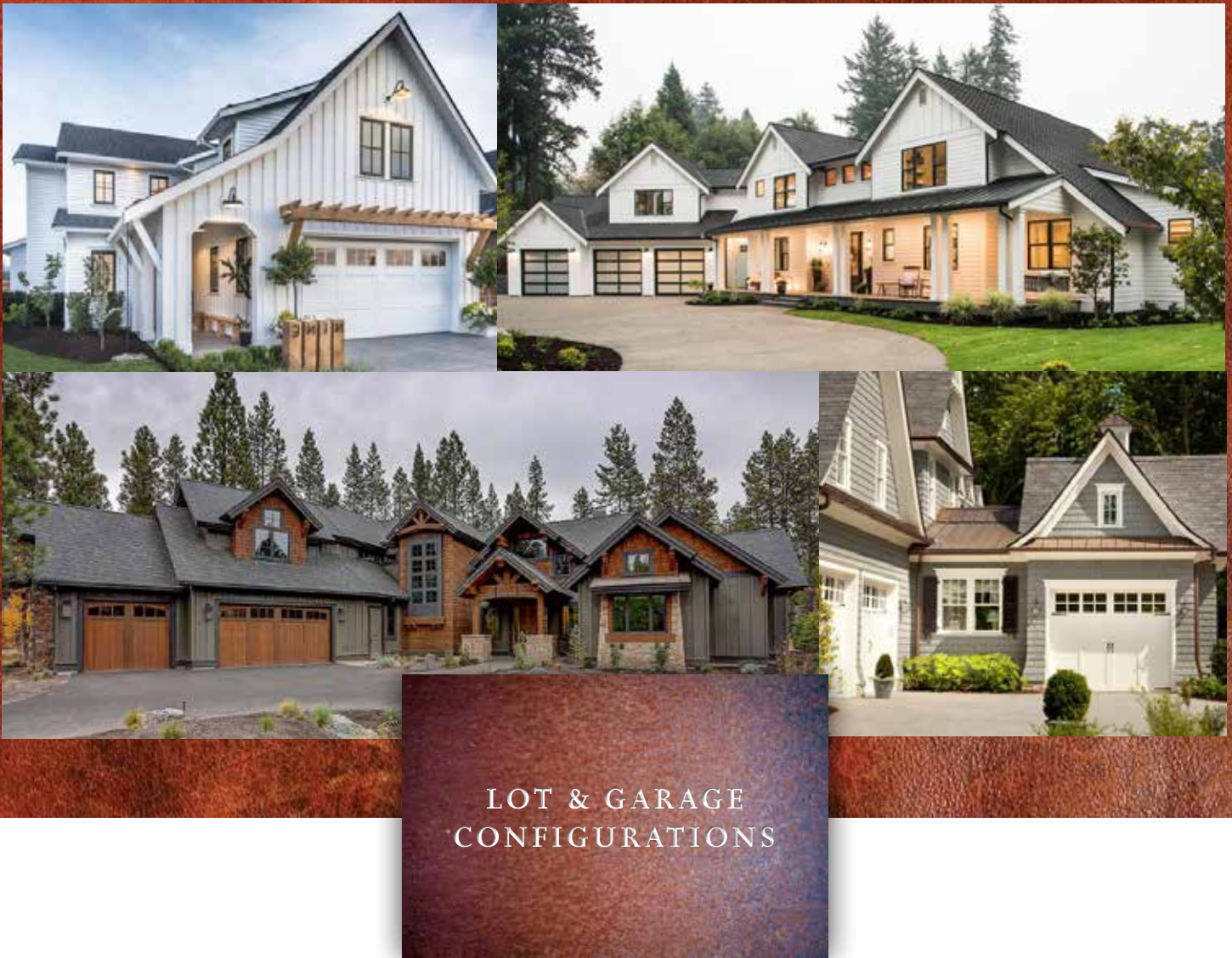
- Dormers
- Dutch Gables
- Full Height Stone or Brick
- Simple Columns



C. WINDOWS & DOORS

- Windows with grids, if shutters are used they must be sized appropriately.
- Classic raised panel entry doors with windows.
- Garage doors that mimic barn doors.





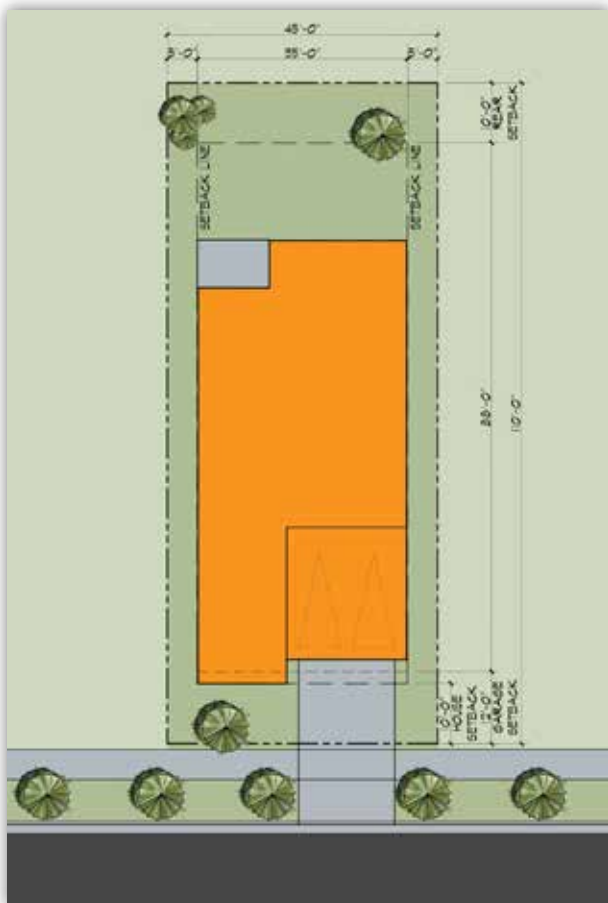
LOT & GARAGE CONFIGURATIONS

CRAFTING A DIVERSE AND INTERESTING street scene for Looking Glass will require attention to plan distribution, lot configuration, and minimizing the visual impact of the garages. To achieve this visual diversity, varying front setbacks, and specific plans for corner lots will help enhance the streetscape. There are several alternative garage configurations provided to lessen the emphasis of the garage door facing the street.

LOT CONFIGURATIONS

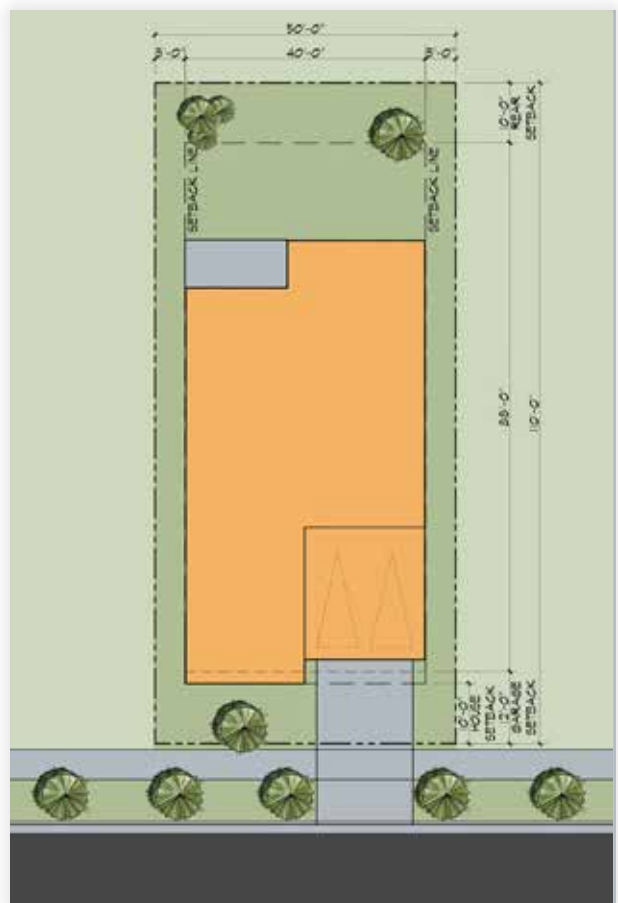
A. SINGLE FAMILY DWELLING 45' WIDE LOTS

- Neighborhood 2, Planning Area 7
- Target buyer: Younger family: 1st-time buyer/ 1st-Time Move-Up
- Neighborhood Attributes:
 - Grade sloping from North to South
 - Lots on south boundary adjacent to open space buffer
 - Neighborhood anchored by large park
- Setbacks
 - Front
 - Principle Building - 10 ft.
 - Garage perpendicular - 12 ft.
 - Garage Parallel - 8 ft.
 - Side - 5 ft. / 10 ft. from corner street
 - Rear - 10 ft.



B. SINGLE FAMILY DWELLING 50' WIDE LOTS

- Neighborhood 1, Planning Area 9
- Neighborhood 4, Planning Area 8
- Target buyer: Younger Family: 1st-Time buyer/ 1st-Time Move-Up
- Neighborhood Attributes:
 - 1: Small - scale neighborhood with small park at entry
 - 4: Significant open space areas with southern lots adjacent to Brandy Gulch Open Space area
 - 4: Two neighborhood parks.
- Setbacks
 - Front
 - Principle Building - 10 ft.
 - Garage perpendicular - 12 ft.
 - Garage Parallel - 8 ft.
 - Side - 5 ft. / 10 ft. from corner street
 - Rear - 10 ft.



LOT CONFIGURATIONS

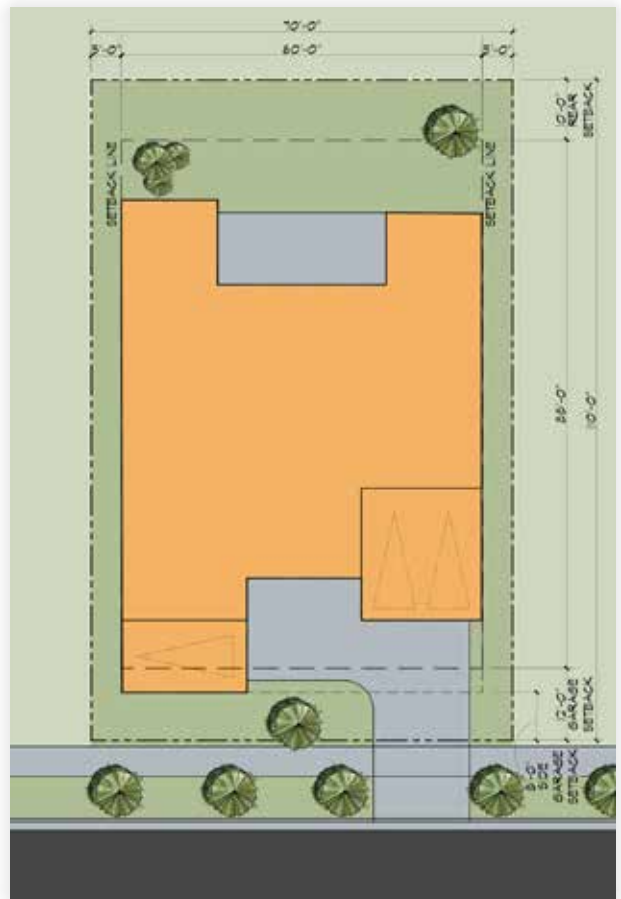
C. SINGLE FAMILY DWELLING 50' & 60' WIDE LOTS

- Neighborhood 5, Planning Area 21
- Target Buyer: Young and Mature Families: 1st-Time and 2nd-Time Move-Up
- Neighborhood Attributes
 - Significant exposure to Brandy Gulch and Lemon Gulch
 - Neighborhood park integrated into open space area
- Setbacks
 - Front
 - Principle Building - 10 ft.
 - Garage perpendicular - 12 ft.
 - Garage Parallel - 8 ft.
 - Side - 5 ft. / 10 ft. from corner street
 - Rear - 10 ft.



D. SINGLE FAMILY DWELLING 60' AND 70' WIDE LOTS

- Neighborhood 6, Planning Area 25
- Target Buyer: Young and Mature Families: 2nd-Time Move-Up and Empty Nest
- Neighborhood Attributes:
 - Significant open space - including internal drainage
 - Buffer on Southern Boundary
 - Neighborhood Park/ Large natural open space area
- Setbacks
 - Front
 - Principle Building - 10 ft.
 - Garage perpendicular - 12 ft.
 - Garage Parallel - 8 ft.
 - Side - 5 ft. / 10 ft. from corner street
 - Rear - 10 ft.



LOT CONFIGURATIONS

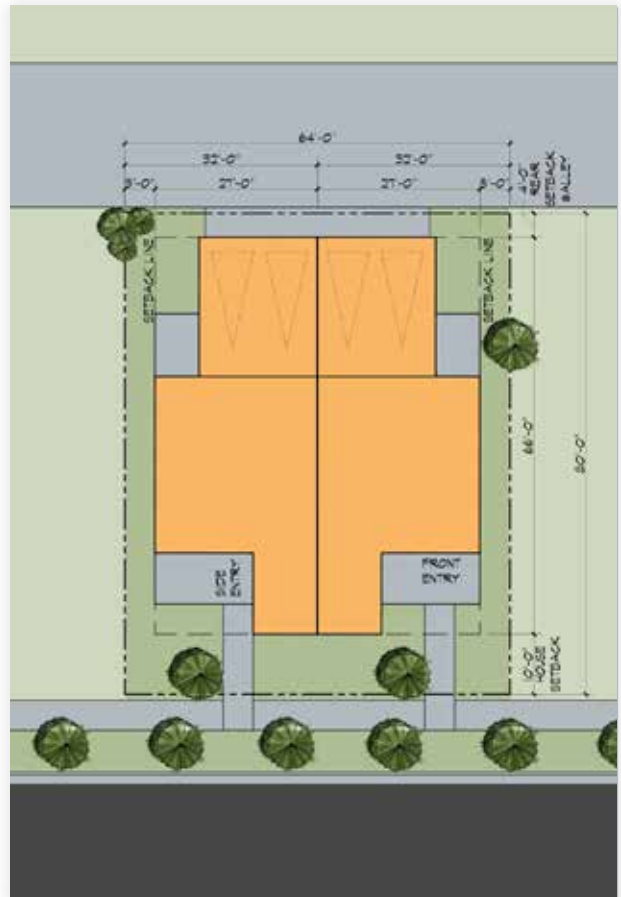
E. PAIRED HOMES - FRONT LOADED

- Planning Area 6
- Target buyer: Younger family: 1st-time buyer/ Move-Up
- Neighborhood Attributes:
 - Gently sloping property
 - Adjacent to two neighborhood parks
- Setbacks
 - Front
 - Principle Building - 10 ft.
 - Garage perpendicular - 12 ft.
 - Garage Parallel - 8 ft.
 - Side - 4 ft. from corner street/ 0 ft. from other property lines
 - Rear - 4 ft. from alley/ 0 ft. from other property lines
- Side by side 2-car garages must be offset by a minimum of 2'
- Swing-in/ Front-loaded garage combinations are preferred
- Mirrored plans are permitted with varying elevations on each side.



F. PAIRED HOMES - ALLEY LOADED

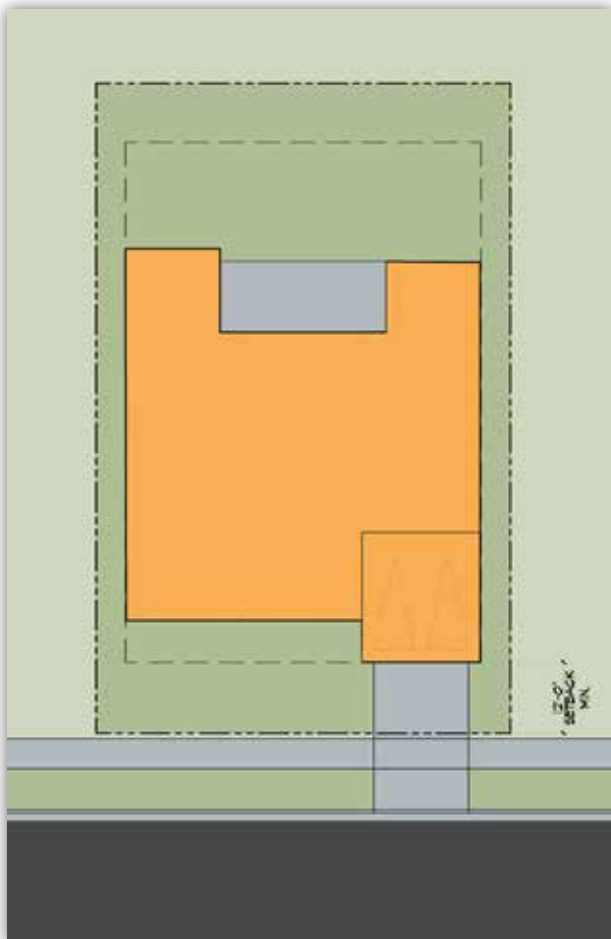
- Planning Area 6
- Target buyer: 1st-time Move-Up/ Empty Nesters
- Neighborhood Attributes:
 - Gently sloping property
 - Adjacent to two neighborhood parks
- Setbacks
 - Front
 - Principle Building or Porch - 10 ft.
 - Side - 4 ft. from corner street/ 0 ft. from other property lines
 - Rear - 4 ft. from alley minimum
- Garages to be at rear of unit facing alley.
- Side-entry/ front entry combinations are preferred.



GARAGE CONFIGURATIONS

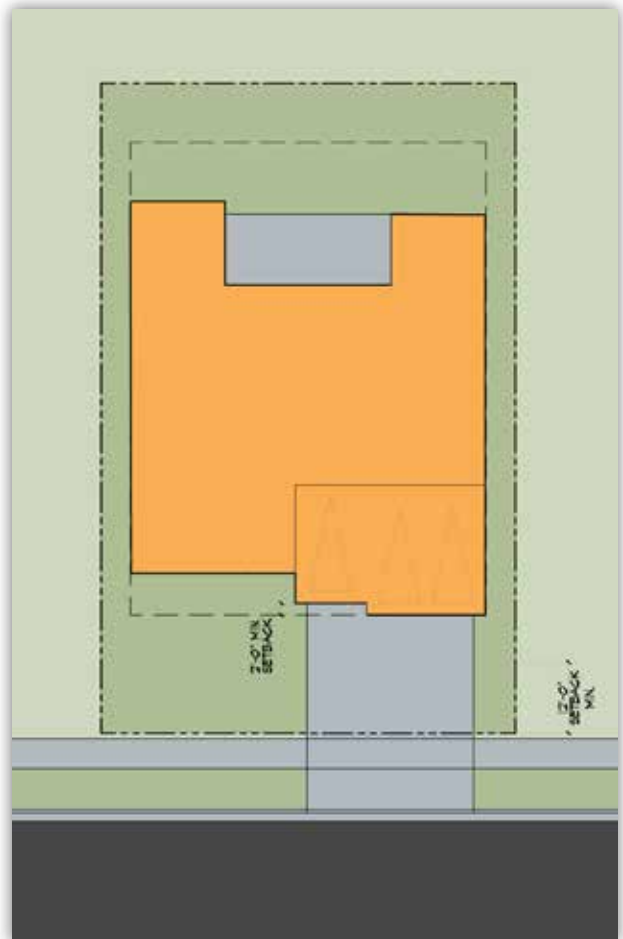
A. GARAGE FORWARD

- Design with regards to reducing the appearance of the garage.
- When this configuration is used, a porch or architectural entry shall be provided to diminish the appearance of the garage.
- Maximum of 25% on any street facing block.



B. 3 - CAR FRONT GARAGE

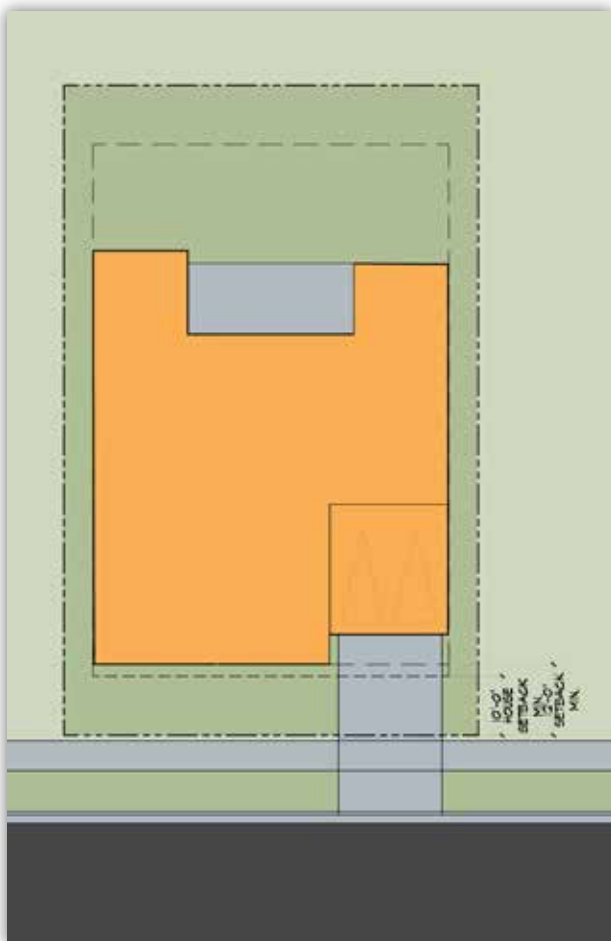
- Design with regards to reducing the appearance of the garage, especially its width.
- Use architectural elements to diminish the appearance of the garage.
- Only 25 % of the homes are allowed to use this format.
- If placing side-by-side, these configurations may only be of no more than two homes.
- Provide a minimum offset of 2'-0" between the 2- and 1-car garages.
- Garage doors may not occupy more than 55% of the elevation.
- Maximum of 25% on any street facing block.



GARAGE CONFIGURATIONS

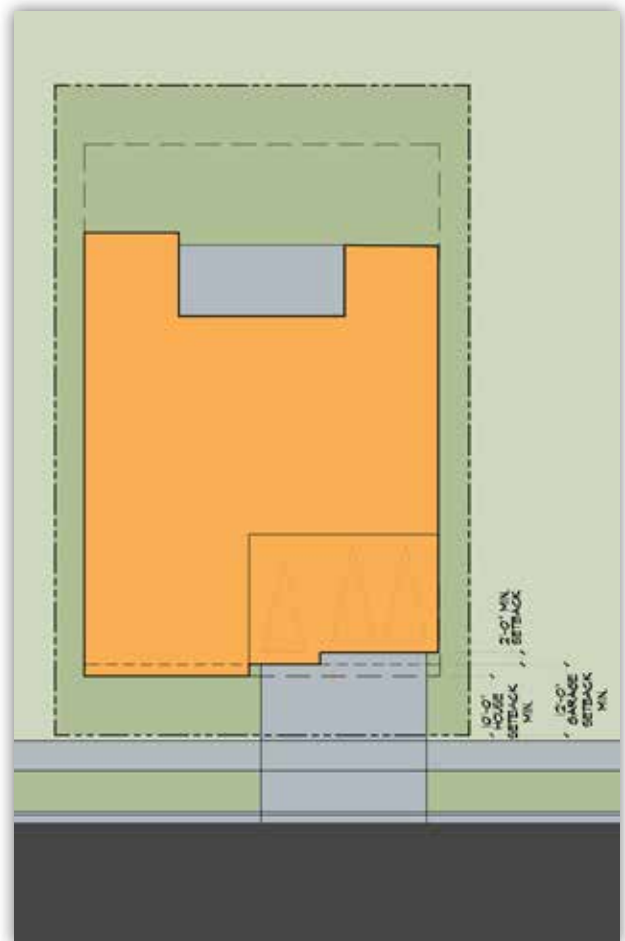
C. RECESSED GARAGE

- Recess garage a minimum of 4' from the porch or forward-most living area.
- When this configuration is used, a porch or architectural entry shall be provided to diminish the appearance of the garage.



D. 3 CAR RECESSED

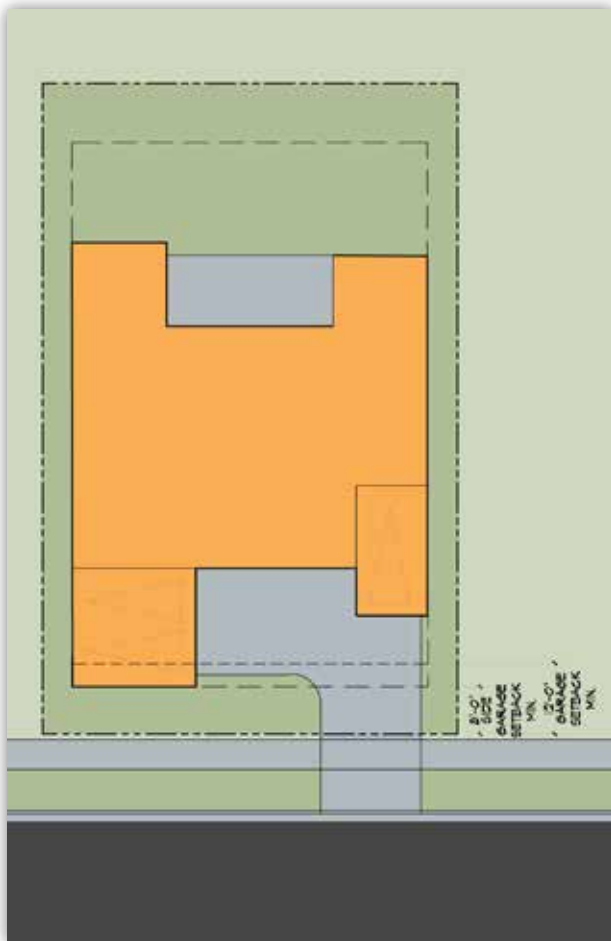
- Recess garage a minimum of 4' from the porch or forward-most living area.
- When this configuration is used, a porch or architectural entry shall be provided to diminish the appearance of the garage.
- Provide a minimum offset of 2'-0" between the 2- and 1-car garages.
- Garage doors may not occupy more than 55% of the elevation.



GARAGE CONFIGURATIONS

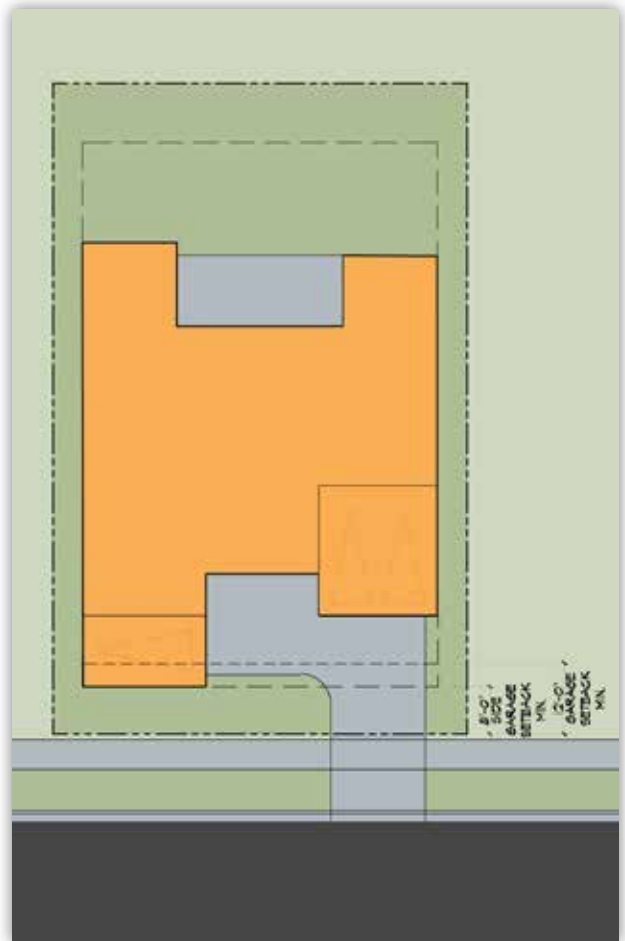
E. 1-2 SPLIT GARAGE

- This configuration is to be designed for a 1-car straight-in and 2-car turn-in garage.
- This configuration helps to reduce the visual impact of having three garage stalls and gives better emphasis to the architectural facade.
- Better visual diversity on the streetscape can be achieved with a minimization of garage doors on the front facade.
- The Entry is to be designed to be accessed between the 1- car and 2- car garages.
- At 1-2 split garages, visibility of front door from the street is preferable.



F. 2-1 SPLIT GARAGE

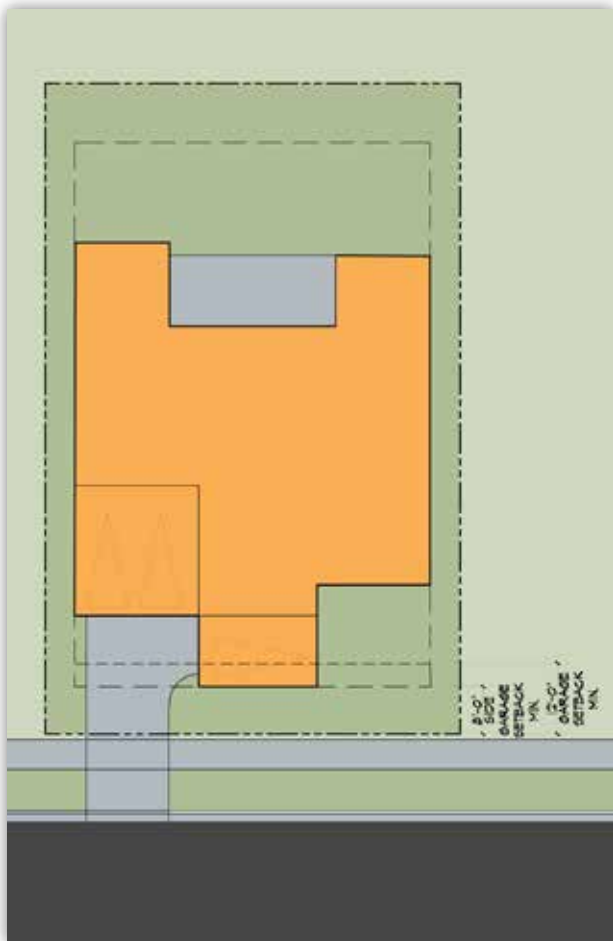
- This configuration is to be designed for a 2-car straight-in with a 1-car turn-in garage.
- This configuration helps to reduce the visual impact of having three garage stalls and gives better emphasis to the architectural facade.
- The Entry is to be designed to be accessed between the 1- car and 2- car garages.
- At 2-1 split garages, visibility of front door from the street is preferable.



GARAGE CONFIGURATIONS

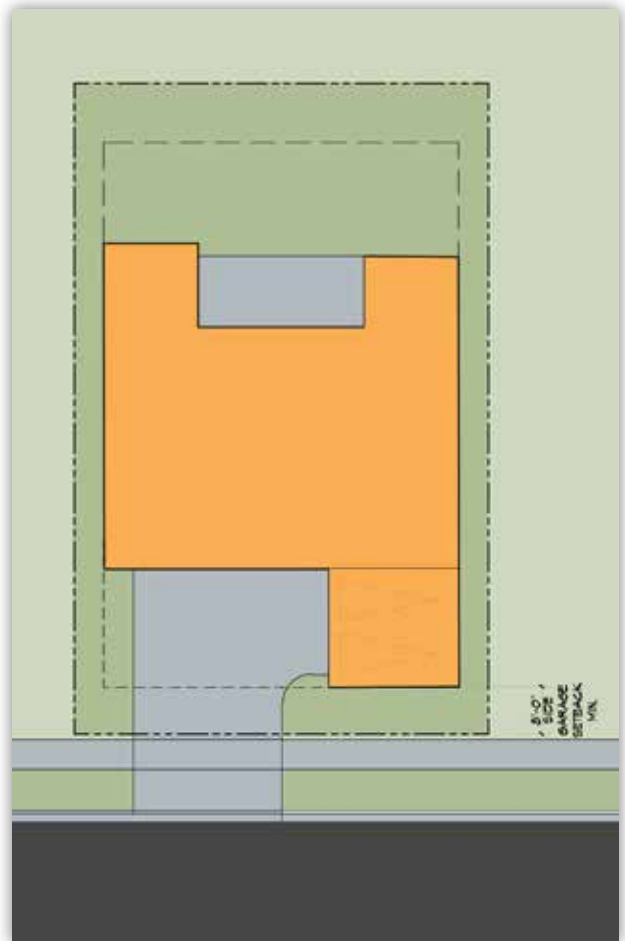
G. 2-1 SPLIT GARAGE - SIDE ENTRY

- This configuration is to be designed for a 2-car straight-in with a 1-car turn-in garage.
- This configuration helps to reduce the visual impact of having three garage stalls and gives better emphasis to the architectural facade.
- The Entry is to be designed to be accessed on the side of the house.
- At 2-1 split garages, visibility of front door from the street is preferable.



H. TURN - IN GARAGE

- This configuration will create a visual diversity that will reduce monotony of street-facing garages.
- Depending on the lot size, these may be 2- or 3-car garages.
- This design method will minimize the garage appearance, while maintaining the functionality of a garage.
- This design approach creates opportunities for flexibility in plan layout, facade appearance, and architectural articulation.
- Provide a minimum offset of 2'-0" between the 2- and 1-car garages.





LANDSCAPING

The Looking Glass landscape character is comprised of short grass prairies with abundant preservation of Gambel Oaks. This distinct landscape includes an array of micro-climates from wetland gulches to dry ridge-lines. The on lot landscaping will incorporate the native plant communities with forward-looking architectural styles.

Five unique styles will be utilized on front yard landscapes at Looking Glass to provide context and visual interest throughout the distinctive neighborhood concepts. The landscape requirements for each lot will vary depending on style and size to provide a diverse landscape for the internal streetscapes.



LANDSCAPE REQUIREMENTS

A. FARMHOUSE LANDSCAPE STYLE

The Farmhouse style is rooted deep in the Eastern plains of Colorado, the simple and clean lines evoke a sense of familiarity and comfort.

- Plains plant palette
- Hedge plantings
- Abundance of ornamental grasses

B. HILL COUNTRY LANDSCAPE STYLE

The infinite opportunities of the west drew prospectors, artisans, and entrepreneurs to the region which influenced this rich aesthetic style.

- Native plant palette
- Abundance of ornamental grasses
- Landscape boulders

C. OLD MILL LANDSCAPE STYLE

Drawing from Colorado’s rich mining culture the Old Mill style hints at the early industrial age with a nod to the early settlers and their ingenuity to use what the land offered them

- Foothills plant palette
- Vertical accent plantings
- Landscape boulders

D. SIERRA PACIFIC LANDSCAPE STYLE

The rustic flair gives the Sierra Pacific Elevation a refined look with a rustic feel that blends into the Colorado landscape.

- Vibrant foliage plant palette
- Specimen plantings

E. COTTAGE LANDSCAPE STYLE

The European styling and countryside feeling gives the Cottage Elevation a pastoral look and feel with a Colorado flair.

- Flowering plant palette
- Hedge plantings
- Abundance of perennials

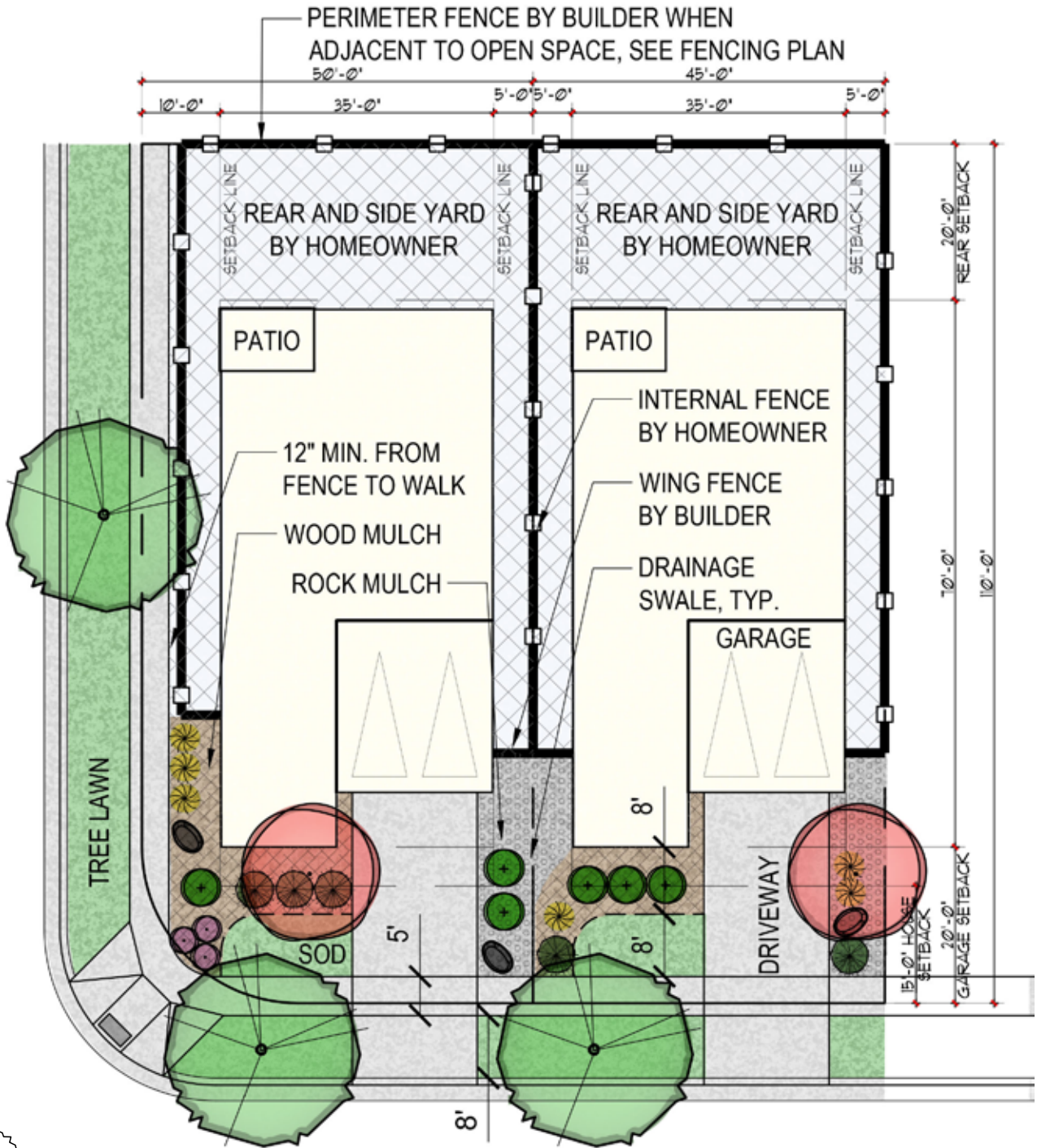
HOMEOWNER FRONT YARD MINIMUM LANDSCAPE REQUIREMENTS					
LOT TYPE	TREE	EVERGREEN SHRUBS	DECIDUOUS SHRUBS	ORNAMENTAL GRASSES	PERENNIALS
45' FARMHOUSE	1	2	3	3	0
45' HILL COUNTRY	1	2	3	1	0
45' OLD MILL	1	3	3	0	0
45' SIERRA PACIFIC	1	3	3	0	0
45' COTTAGE	1	2	3	1	3
50' FARMHOUSE	1	3	5	3	0
50' HILL COUNTRY	1	3	5	1	2
50' OLD MILL	1	4	5	1	0
50' SIERRA PACIFIC	1	4	5	1	0
50' COTTAGE	1	3	5	1	5
60' FARMHOUSE	1	4	5	5	0
60' HILL COUNTRY	1	4	5	3	2
60' OLD MILL	1	5	5	1	0
60' SIERRA PACIFIC	1	5	5	1	0
60' COTTAGE	1	4	5	3	5
70' FARMHOUSE	1	5	5	5	3
70' HILL COUNTRY	1	4	5	5	5
70' OLD MILL	1	5	5	5	3
70' SIERRA PACIFIC	1	5	5	5	3
70' COTTAGE	1	4	5	3	10
PAIRED FARMHOUSE	1	5	5	5	3
PAIRED HILL COUNTRY	1	4	5	5	5
PAIRED OLD MILL	1	5	5	5	3
PAIRED SIERRA PACIFIC	1	5	5	5	3
PAIRED COTTAGE	1	4	5	3	10

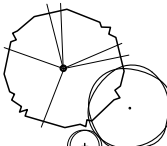



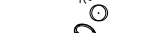


AN ADDITIONAL (5) ORNAMENTAL GRASSES, EVERGREEN OR DECIDUOUS SHRUBS SHALL BE PROVIDED ON CORNER LOTS.



LANDSCAPE CONFIGURATIONS

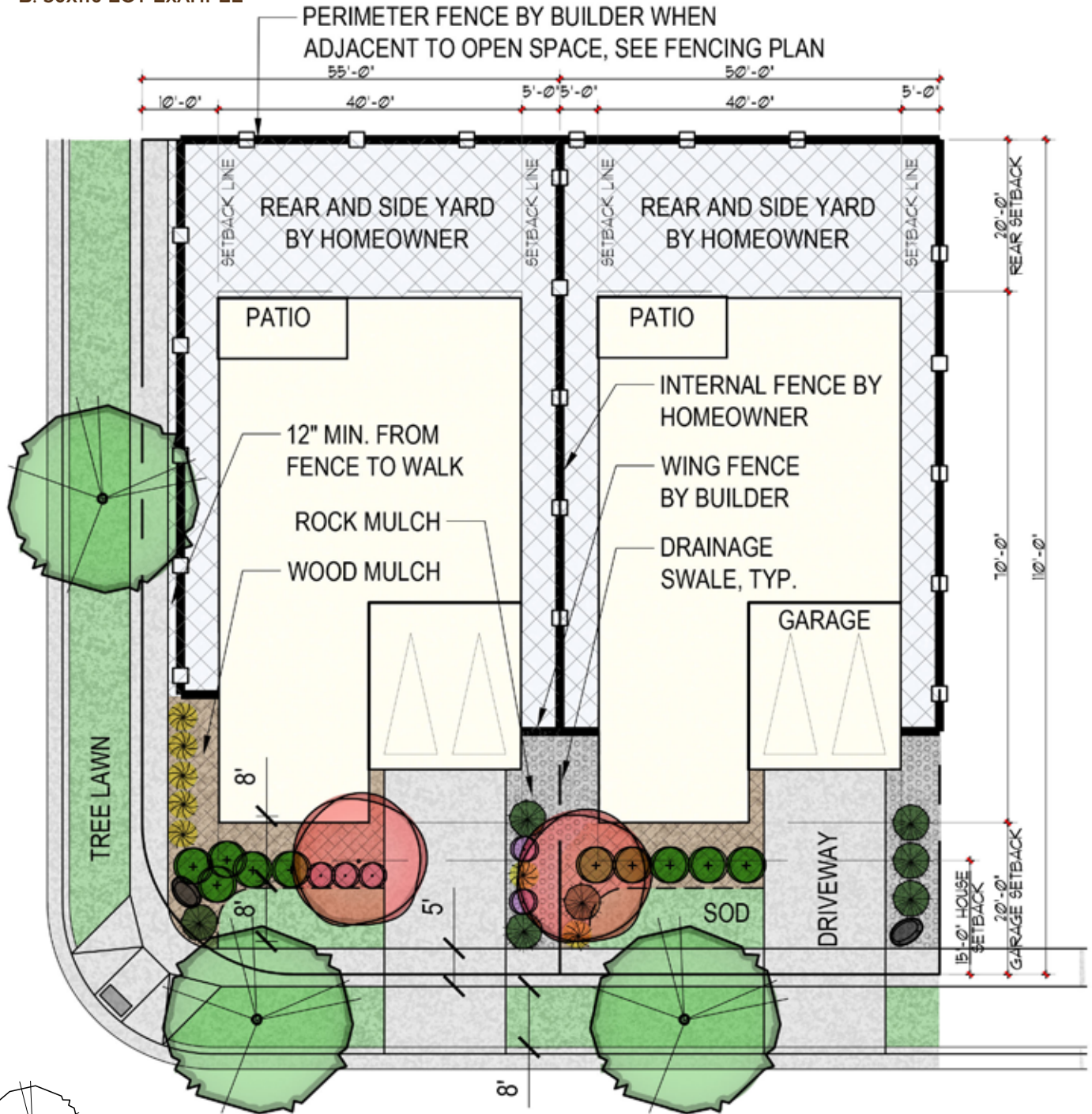
A. 45X110 LOT EXAMPLE

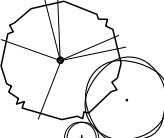








-  SHADE TREE
-  ORNAMENTAL TREE
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASS
-  PERENNIAL
-  BOULDER

LANDSCAPE CONFIGURATIONS

B. 50X110 LOT EXAMPLE

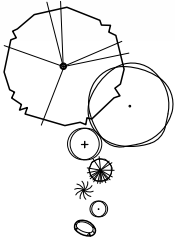
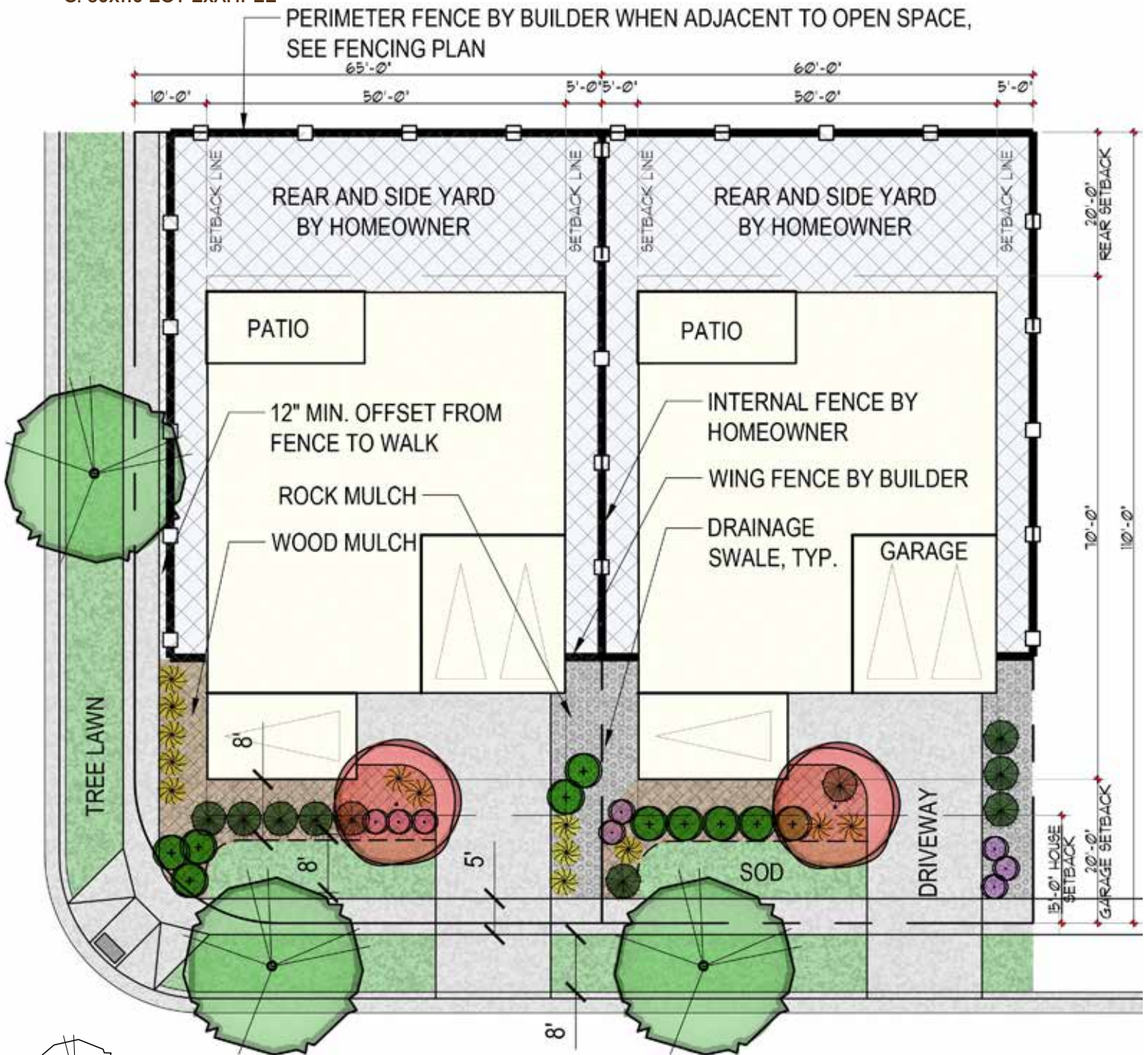


-  SHADE TREE
-  ORNAMENTAL TREE
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASS
-  PERENNIAL
-  BOULDER



LANDSCAPE CONFIGURATIONS

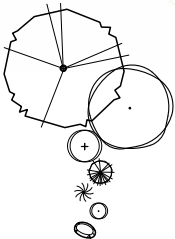
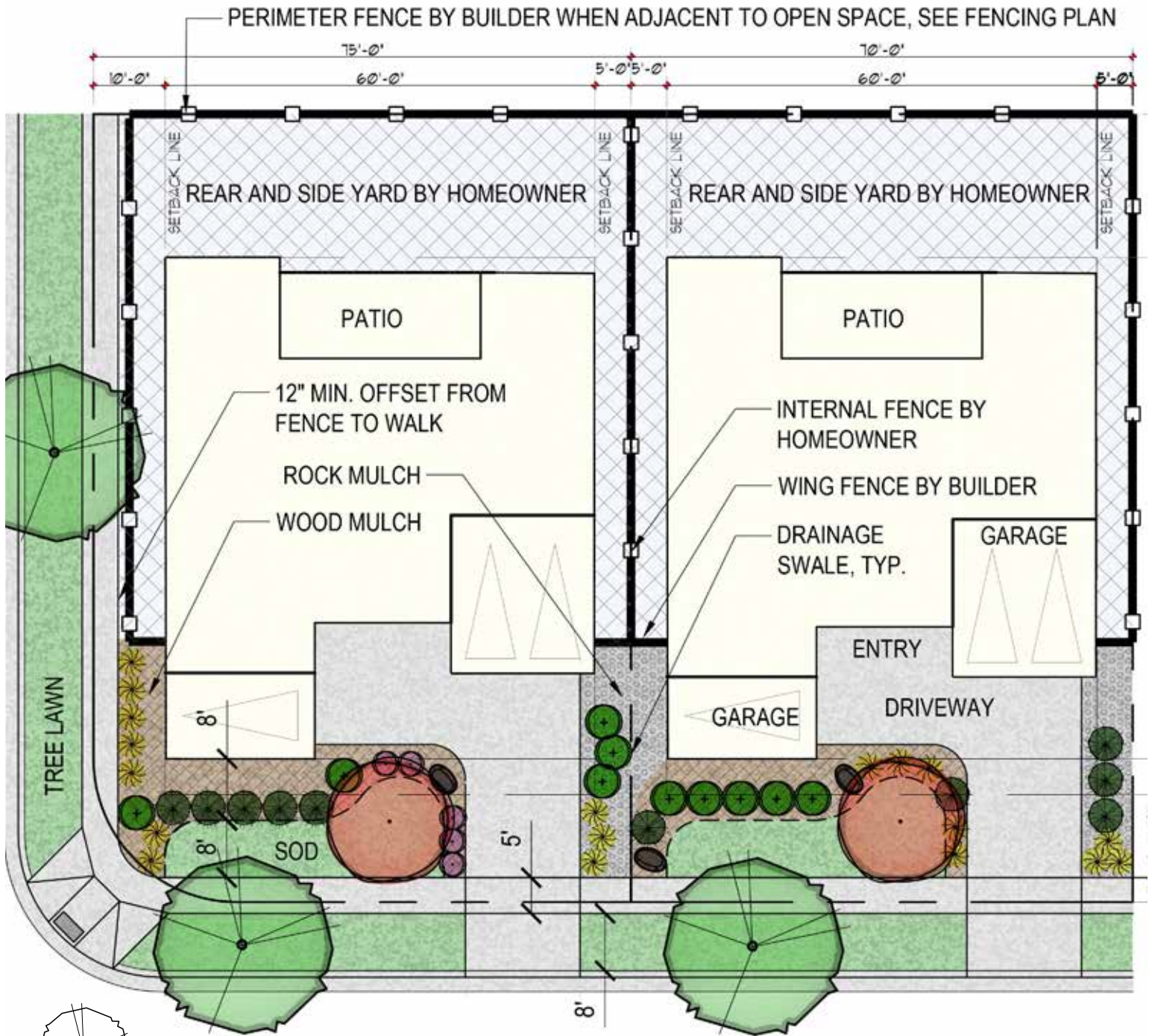
C. 60X110 LOT EXAMPLE



- SHADE TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- BOULDER

LANDSCAPE CONFIGURATIONS

D. 70X110 LOT EXAMPLE

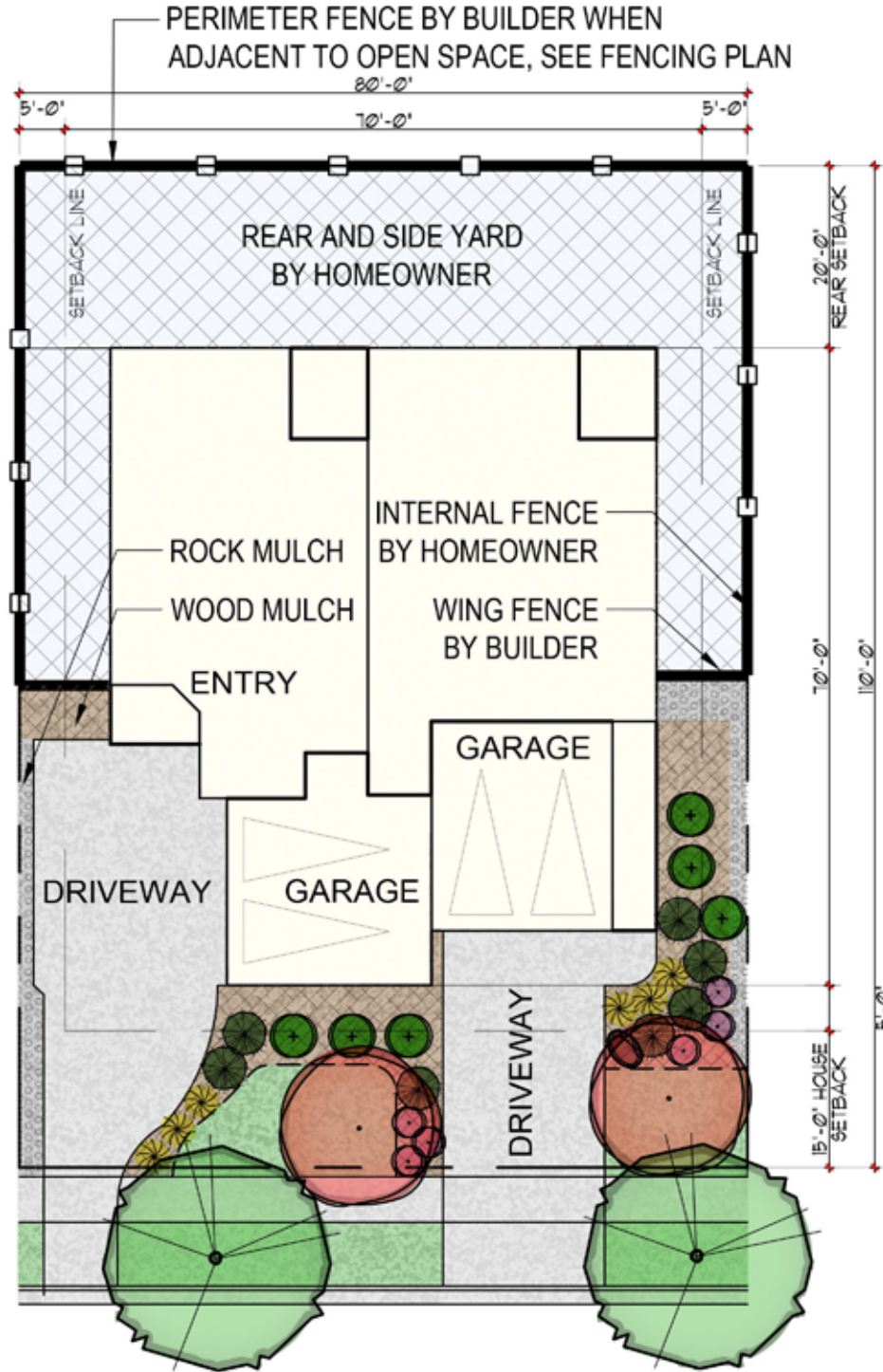


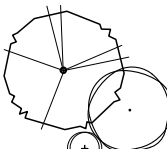






- SHADE TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- BOULDER



LANDSCAPE CONFIGURATIONS

E. PAIRED HOME LOT EXAMPLE



-  SHADE TREE
-  ORNAMENTAL TREE
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASS
-  PERENNIAL
-  BOULDER



FENCING

ALL FENCING TYPES SHALL BE cedar and stained semi-transparent Cape Cod Grey (Behr #ST-365), which will enhance the site with a modern weathered look. Open rail fencing will articulate the expansive open space corridors, while maintaining clear views of the spacious vistas. Privacy fencing will be constructed along rear lots that are adjacent to vehicular zones, enabling homeowners to preserve the privacy of their outdoor space.

Internal privacy fencing along shared lot lines shall have matching front and back rail and trim, providing a seamless rear yard view. Buck and rail fencing will be adjacent to vehicular roadways, emulating the historical context of the forward looking ranch community.

PERIMETER FENCING

Open rail fencing will articulate the expansive open space corridors, while maintaining clear views of the spacious vistas. Privacy fencing will be constructed along rear lots that are adjacent to vehicular zones, enabling homeowners to preserve the privacy of their outdoor space.

A. OPEN RAIL FENCE



- Height: 42"
- Post: 4"
- Post Spacing: 8'
- Rail: 2" x 6"
- Rail Spacing: 8"
- Material: Cedar, Stain per Developer
- Pet Enclosure: Optional 2" x 4" wire mesh grid

B. PERIMETER PRIVACY FENCE



- Height: 6'
- Post: 6" at 8' on center
- Picket: 1" x 6"
- Cap and Rail: 2" x 6"
- Trim: 1" x 6"
- Material: Cedar, Stain per Developer

C. TRANSITIONAL FENCE



- Height: 3.5' and 6'
- Post: 6"
- Picket: 1" x 6"
- Cap and Rail: 2" x 6"
- Trim: 1" x 6"

PERIMETER FENCING

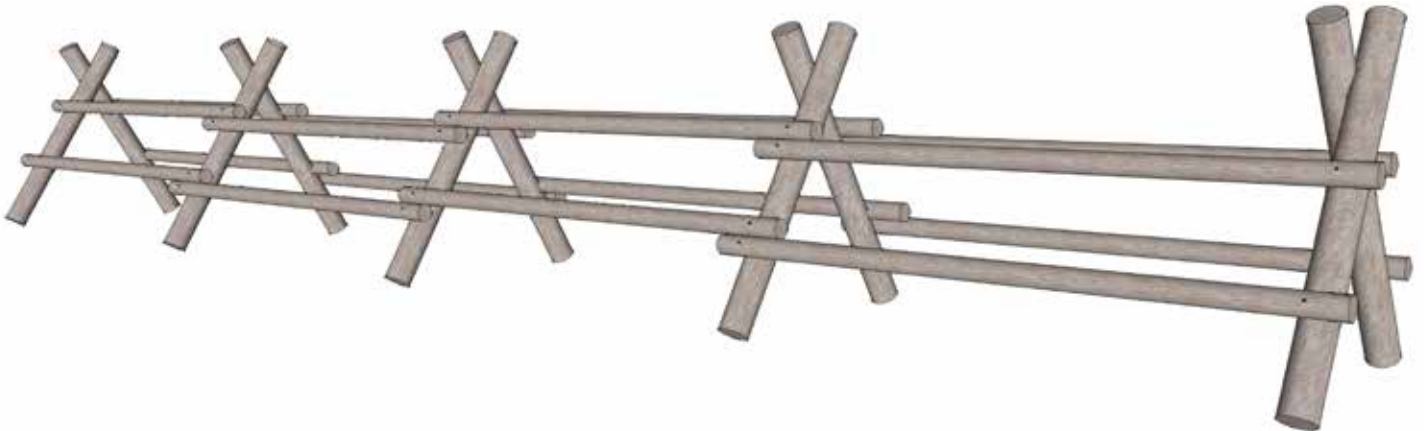
Privacy fencing will be constructed along rear lots that are adjacent to vehicular zones, enabling homeowners to preserve the privacy of their outdoor space. Buck and rail fencing will be adjacent to vehicular roadways, emulating the historical context of the forward looking ranch community.

D. PRIVACY FENCE WITH COLUMN



Column Height: 6'-4"
Cap: 2'-4" square
Cap Thickness: 6.5"
Material: Developer approved veneer

E. BUCK AND RAIL FENCE



Height: 4'-9"
Post: 6" diameter
Rail: 4" diameter
Material: Developer approved wood



INTERNAL FENCING

All fencing types shall be gray patina cedar, which will enhance the site with a modern weathered look. Open rail fencing will articulate the expansive open space corridors, while maintaining clear views of the spacious vistas. Privacy fencing will be constructed along rear lots that are adjacent to vehicular zones, enabling homeowners to preserve the privacy of their outdoor space. The shared lot line internal privacy fence will have matching front and back rail and trim to provide a seamless rear yard view.

A. OPEN RAIL FENCE



Height:	42"
Post:	4"
Post Spacing:	8'
Rail:	2" x 6"
Rail Spacing:	8"
Material:	Cedar, Stain per Developer
Pet Enclosure:	Optional 2" x 4" wire mesh grid

B. INTERNAL LOT PRIVACY FENCE



Height:	6'
Post:	6" at 8' on center
Picket:	1" x 6"
Cap and Rail:	2" x 6"
Trim:	1" x 4" and 1" x 6"
Material:	Cedar, Stain per Developer

C. TRANSITIONAL FENCE



Height:	3.5' and 6'
Post:	6"
Picket:	1" x 6"
Cap and Rail:	2" x 6"
Trim:	1" x 6"